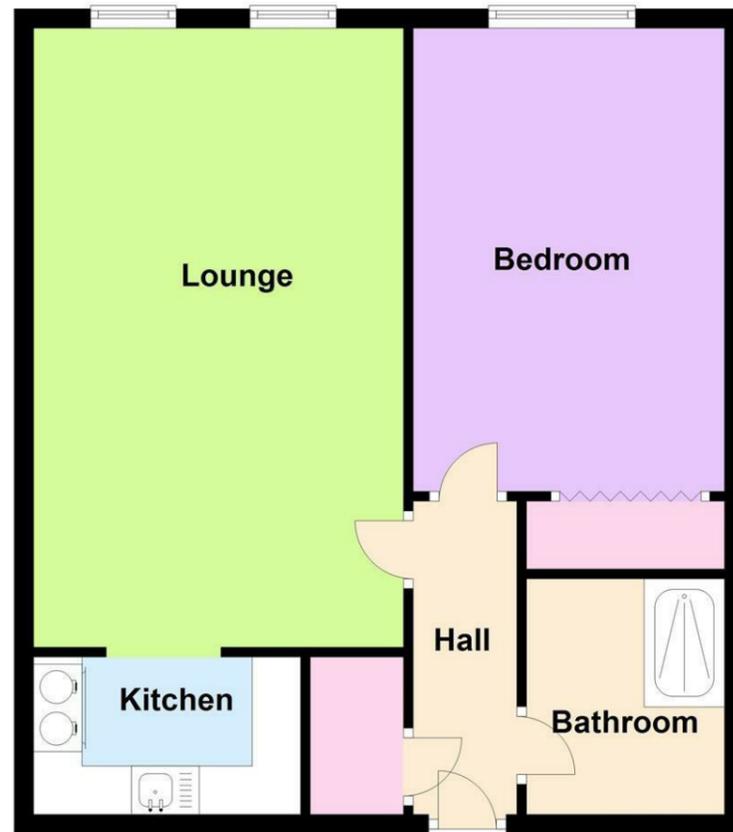


Ground Floor



**Homeregal House Bellingham Lane  
Rayleigh, SS6 7HN  
£180,000**

- Purpose Build For Over 55's
- 1 Bedroom 1st Floor Apartment
- House Manager & Care Line System
- Spacious Lounge
- Modern Kitchen & Shower Room
- Bedroom With Fitted Wardrobes
- Communal Parking & Landscaped Gardens
- Just Off Rayleigh High Street
- Early Viewing Recommended
- No Onward Chain



12-14 Berrys Arcade  
High Street  
Rayleigh  
SS6 7EF

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Energy Efficiency Rating		Environmental Impact (CO <sub>2</sub> ) Rating			
Very energy efficient - lower running costs	Current	Potential	Very environmentally friendly - lower CO <sub>2</sub> emissions	Current	Potential
(92 plus) <b>A</b>			(92 plus) <b>A</b>		
(81-91) <b>B</b>			(81-91) <b>B</b>		
(69-80) <b>C</b>			(69-80) <b>C</b>		
(55-68) <b>D</b>			(55-68) <b>D</b>		
(39-54) <b>E</b>			(39-54) <b>E</b>		
(21-38) <b>F</b>			(21-38) <b>F</b>		
(1-20) <b>G</b>			(1-20) <b>G</b>		
Not energy efficient - higher running costs			Not environmentally friendly - higher CO <sub>2</sub> emissions		
England & Wales	EU Directive 2002/91/EC	81	England & Wales	EU Directive 2002/91/EC	66



## SOUGHT-AFTER DEVELOPMENT FOR THE OVER 55s – JUST OFF RAYLEIGH HIGH STREET

We are pleased to offer this spacious one-bedroom first floor apartment, located within a highly regarded retirement development just a short walk from Rayleigh High Street.

The property features:

- A bright and airy lounge
- Well-maintained kitchen and shower room
- Electric heating and double glazing throughout

Residents benefit from a welcoming community and a range of excellent shared facilities, including:

- Two comfortable communal lounges
- A convenient laundry room
- On-site House Manager for additional support
- Landscaped rear gardens – a peaceful spot to enjoy sunny days

Perfectly positioned just off Rayleigh High Street, the development offers easy access to local shops, cafés, restaurants, and public transport links — ideal for enjoying an independent lifestyle with support when needed.

### ACCOMMODATION

Communal door with entryphone system leading to entrance hall providing access to the house manager's office & complex lounges, stairs & lift leading to the first floor,

### HALL

Large storage cupboard, care line system, power point, coving,

### LOUNGE 19'3 x 10'3 (5.87m x 3.12m)

Two double glazed windows to front, storage heater, assistance cord, entry phone, coving, wall light points, power & Tv points, storage heater,

### KITCHEN 10'3 x 5'3 (3.12m x 1.60m)

Recently fitted with a modern range of white eye level & base level units with complimentary work tops, stainless steel sink drainer, twin electric hob, coving, power points,

### BEDROOM 1 14'3 x 8'8 (4.34m x 2.64m)

Double glazed window to front, fitted wardrobe to recess area, storage heater, wall lights, power & Tv points,

### SHOWER ROOM

Modern white suite comprising large shower with glazed surround, vanity wash hand basin having storage cupboards below, low level wc, extractor fan, wall heater & heated towel rail, assistance cord,

### OUTSIDE

#### GARDENS

Within the grounds are delightful landscaped gardens with seating, lawn areas and evergreen shrub beds

#### PARKING

To the rear is private parking (not allocated)